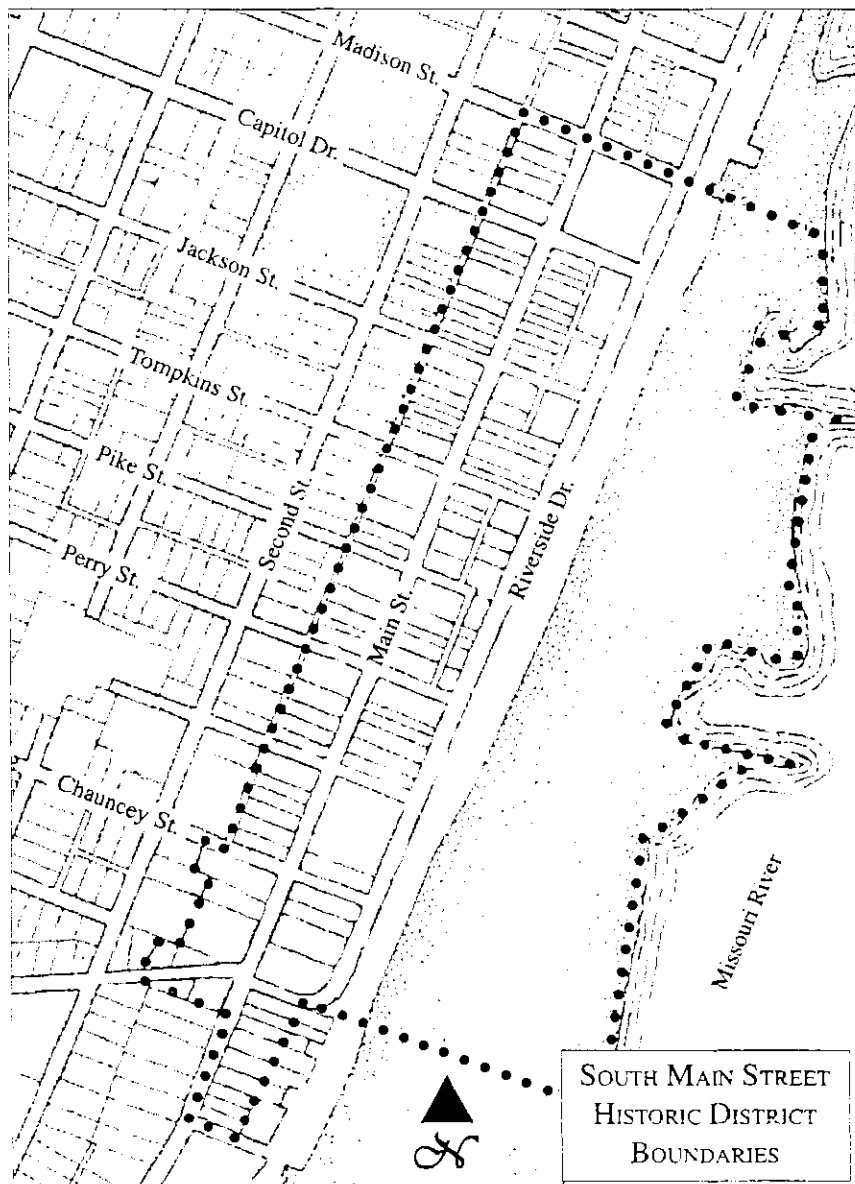


Chapter I: Introduction

This guidebook presents design guidelines for the South Main Street Historic District in St. Charles, Missouri. The District boundaries include roughly nine city blocks, containing approximately 105 properties. The District is bounded on the west by an alley between Second Street and South Main Street and on the east by the Missouri River. The northern boundary is Madison Street. The southern boundary is, for the most part, Boonslick Road, except where the boundary is extended down South Main Street to include a selection of historic properties.



The primary purpose of these Guidelines is to provide guidance to the Historic Landmarks Preservation and Architectural Review Board (hereafter HLPARB or Historic Landmarks Board) in conducting its review and granting its approval of alterations and additions to all structures within the District, and to proposed new construction in the District.

The HLPARB will base their decision on seven goals identified for the district. These goals are to 1) protect the integrity of the Historic District, 2) protect the sense of time and place conveyed by the historic buildings as a collection, 3) promote a sense of identity for the District, 4) protect property values and investments, 5) minimize negative impacts on adjacent properties from inappropriate development, 6) encourage pedestrian activity and 7) convey a sense of human scale.

The Guidelines reflect the Historic Landmarks Board's philosophy that underlies all its decisions: to encourage the preservation and careful treatment of the historic resources within the District, while recognizing the need for the contemporary economic use of these structures. The Guidelines neither dictate taste nor assure good design. Rather, they are intended to be a means for balancing the historic qualities of these structures with the demands of contemporary use.

Additionally, the Guidelines provide guidance to owners and applicants seeking approval for proposed alterations. The Guidelines address alteration of Landmark structures with the understanding that a sound preservation approach is just as important for a simple Victorian vernacular home in a historic district as for a large Federal style commercial building.

The Concept of Significance

A building possessing architectural significance is one that represents the work of a noteworthy architect, possesses high artistic value, or that well represents a type, period or method of construction. A historically significant property is one associated with significant persons, or with significant events or historical trends, or is a property already determined to be contributing to the significance of an established historic district.

The Concept of Integrity

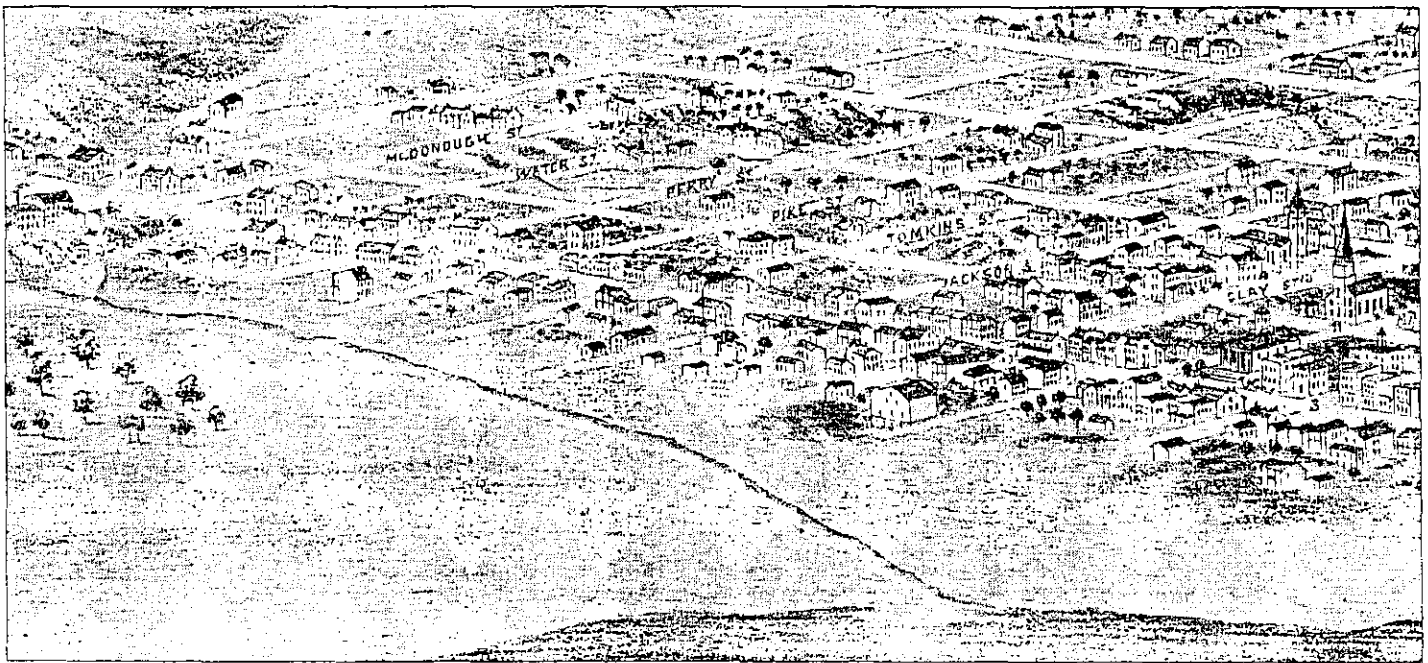
“Integrity” is the ability of a property to convey its character as it existed during its period of significance. To be listed as a local landmark a property must not only be shown to have historic or architectural significance, but it also must retain a high degree of physical integrity. This is a composite of seven aspects or qualities, which in various combinations define integrity, location, design, setting, materials, workmanship, feeling and association. The more qualities present in a property, the higher physical integrity.

Ultimately the question of physical integrity is answered by whether or not the property retains a high percentage of the identity of the original structure for which it is significant.

The Period of Significance

Each landmark structure has a *period of significance*, which is the time period during which the property gained its architectural, historical or geographical importance. It is generally recognized that a certain amount of time must pass before the historical significance of a property can be evaluated. The National Register, for example, requires that a property be at least 50 years old or have extraordinary importance before it may be considered.

South Main Street Historic District, for example, has a period of significance which spans approximately 130 years (1790-1920). Specifically to the District, there is a more concise “period of focus” when a majority of the historically significant structures were built. This “period of focus” ranges from the early 19th to mid 19th century (c. 1805-1850). Through out this period of significance, the District has been witness to a countless number of buildings and additions which have become an integral part of the District. Conversely, several structures have been built or alterations have been made after this period which are generally considered non-contributing and may be considered for removal or replacement. In general keep this in mind:



A birds eye view of St. Charles in 1869, as drawn by A. Ruger, depicts the Missouri River in the foreground. Main Street runs diagonally from the upper left to the lower right.

Early alterations, additions or new construction (more than 50 years old) may have become historically significant and thus merit preservation.

- a. Many additions or alterations to buildings and districts that have taken place in the course of time are themselves evidence of the history of the building and its neighborhood and therefore may merit preservation.

More recent alterations, additions or new construction that are not historically significant may be removed.

- a. For example, asphalt, aluminum or vinyl siding may presently obscure the original clapboard siding. In this case, removal of this alteration, and restoration of the original material is strongly encouraged.
- b. Most alterations less than fifty years old lack historic significance.

What are Design Guidelines?

Design guidelines convey community policies about neighborhood design. As such, they provide a common basis for making decisions about work that may affect the appearance of individual properties or the overall character of the District. However, they only provide guidance to certain design problems and do not dictate solutions. Instead, they define a range of appropriate responses to a variety of specific design issues. For example, the Guidelines suggest that new buildings should have a "cap" at the top, similar to the cornices used traditionally, but they do not dictate the design or style of this feature. Guidelines also identify some design approaches that are inappropriate in this context. For example, the Guidelines state that sandblasting masonry is prohibited because it will damage the historic protective finish, or the patina, of the material.

Why have Design Guidelines?

One purpose for these Guidelines is to inform the community about the design policies the City holds for the District. They indicate an approach to design that will help provide information that property owners may use to make decisions about their buildings and maintaining its historic character. The Guidelines also provide the City, through the Historic Landmarks Preservation and Architectural Review Board, a basis for making informed, consistent decisions about design.



More recent alterations, additions or new construction that are not historically significant may be removed. For example, the more recent ground floor alterations to this building in Washington, Missouri, have no historic value. Reconstruction of the original design would be preferred.

Change should be reflected in subtle ways, with differences in detail, rather than in broad-scale features, such as building massing and materials. Therefore, new construction should be similar to that seen historically in overall mass and scale, materials, and treatment of openings.

General design goals for the District:

- a. Protect the integrity of the Historic District
- b. Protect the sense of time and place conveyed by the historic buildings as a collection
- c. Promote a sense of identity for the District
- d. Protect property values and investments
- e. Minimize negative impacts on adjacent properties from inappropriate development
- f. Encourage pedestrian activity
- g. Convey a sense of human scale

The Commission will consider how each design proposal helps to meet these goals.

How the South Main Street Design Guidelines are Organized

The Design Guidelines are organized in eight sections.

1. The first section, which you are currently reading, provides the foundation and understanding for the preparation of this document.
2. The second section provides the reader with a basic history of the area and its development patterns.
3. The third section describes the different architectural styles found in the District.
4. The fourth section presents design guidelines that apply to all historic properties in the District.
5. The fifth section presents guidelines for any additions to historic properties within the District.
6. The sixth section provides design guidelines for all new construction in the District.
7. The seventh section includes design guidelines that apply to all projects, including rehabilitation and new construction, and should be read by all users.
8. Finally, the seventh section includes guidelines for all new signs and alterations to existing signs in the District.

The Format for a Guideline

Each design guideline in this document typically has four components:

1. **Policy statement:** this describes a desired state or condition of the design element being discussed.
2. **Design Guidelines Statement:** typically performance-oriented, this describes a desired design treatment.
3. **Supplementary Information:** this may include additional requirements, or may provide an expanded explanation. This information is listed as bullets.
4. **Illustrations:** may be provided to clarify the intent of the guideline.

It is important to note that all components of a design guideline constitutes the material upon which the Board will make its determination of the appropriateness of a proposed project.

The Historic Landmarks Preservation and Architectural Review Board

Pursuant to Chapter 156 of the Code of Ordinances of the City of St. Charles, the HLPARB was established to protect, enhance and perpetuate structures, districts and elements in the city of historical, cultural, architectural and geographic significance. Using the goals of the Ordinance, the Board will incorporate these Guidelines into its evaluation of proposed projects in the South Main Street Historic District.

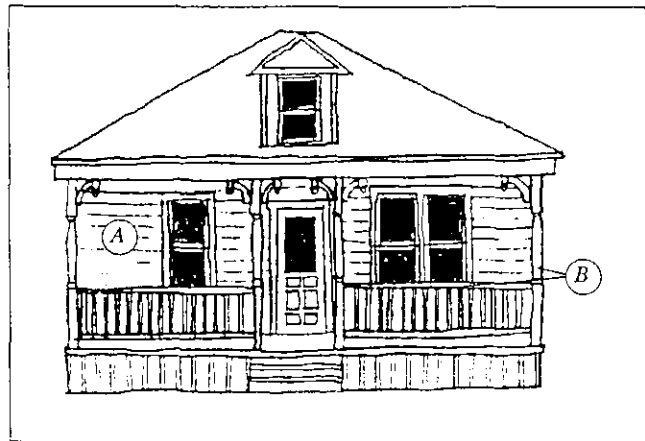
The Board consists of nine members, all appointed by the Mayor. It includes one City Council member, with the remainder composed of St. Charles residents who are either owners of businesses or real property in the community. The Mayor's appointment is based upon recommendations made by several recognized neighborhood review groups (including South Main Preservation Society, Historic Downtown Association, Frenchtown Community Corporation, MidTown Community Association and St. Charles Commons Neighborhood Association). To any extent possible, the Board should consist of professional members representing historic architecture, preservation law, history, rehabilitation or any such fields related to historic preservation which will assist the Board in making qualified decisions.

All Projects

Color

The Board will consider the selection of colors and how color is applied in color schemes. In general, the Board will consider color on a case-by-case basis. However, if applicants wish, they may select color schemes from the Williamsburg Color Paint Chart, already approved by the Board. For this purpose, the Board will maintain a chart of appropriate and inappropriate colors. While color in itself does not affect the actual form of a building, it can dramatically affect the perceived scale of a structure and it can help to blend a building with its context.

- 7.7 Use colors to create a coordinated color scheme for the building.**
- a. The facade should "read" as a single composition.
- 7.8 Employ color schemes simple in character.**
- a. Using one base color for the building is preferred.



When planning a color scheme, consider the entire composition:
 a) The back plane of the main facade is a major surface for which a scheme should be devised.
 b) A color scheme for the front plane, composed of a porch in this case, also should be designed.

Sample of guideline format used in this document.

The Scope of the Guidelines

The Guidelines address all projects in the District requiring a certificate of appropriateness from the Historic Landmarks Board. Please note that the City of St. Charles will not issue a construction permit without a certificate of appropriateness from the HLPARB. "A certificate of appropriateness shall be required before the following actions affecting the exterior architectural appearance or any features noted in the original application for nomination of any landmark or property within the Historic Preservation district, may be undertaken" (*Section 156.413 of the Code of Ordinances of the City of St. Charles, Missouri*):

- Any construction, exterior alteration, removal or demolition, in whole or in part, requiring a construction permit from the City of St. Charles.
- Construction, alteration, demolition or removal, in whole or in part, not requiring a permit, but affecting a significant exterior architectural feature, or the exterior architectural appearance, as specified in the ordinance designating the landmark or historic district.
- Correction of any violation of minimum maintenance standards, which involves an change in exterior architectural appearance.

These Guidelines are also to aid property owners and their architects develop appropriate designs for alteration and strategies for rehabilitation and repair of historic features. The Guidelines help aid in the preservation of historic buildings within the District, and to assure that new construction is compatible with the character of the District.

Note that other regulations also may affect design on South Main Street, including the following:

- The Code of Ordinances of the City of St. Charles
- The BOCA National Building Code
- The Americans with Disabilities Act
- Federal income tax credits for certified rehabilitation of historic buildings

Copies of these and other regulatory documents may be obtained by contacting any member of the Historic Landmarks Preservation and Architectural Review Board or the City of St. Charles:

Department of City Development
200 North Second Street
St. Charles, MO 63301
(314) 949-3222

How to Use the Guidelines

Property owners, real estate agents, tenants and architects should use the Guidelines when beginning a project in the District. This will help establish an appropriate direction for its design. For any project subject to review, the applicant should refer to the Guidelines at the outset, to avoid planning efforts that later may prove to be inappropriate.

Applicants also are encouraged to apply the Guidelines to projects not subject to review. These recommendations will result in designs that are cost-effective and also yield a positive image for the property.

The Guidelines are employed in two formal ways:

First, the City staff will use the Guidelines when advising property owners in administrative reviews. Second, the Historic Landmarks Preservation and Architectural Review Board will use the Guidelines when considering the issuance of a Certificate of Appropriateness or when reviewing a project for comment.

The document will "guide" their decision, but not dictate it. In general, they will seek to determine if an adequate number of the relevant guidelines have been reasonably met. However, there is no set number of guidelines that must be met to gain approval. Because each project has special circumstances that require even consideration, the Board makes its determination on a case-by-case basis. In making its determination, the Board's overall concern is that the integrity of individual historic structures be preserved and that the overall character of the District be protected.

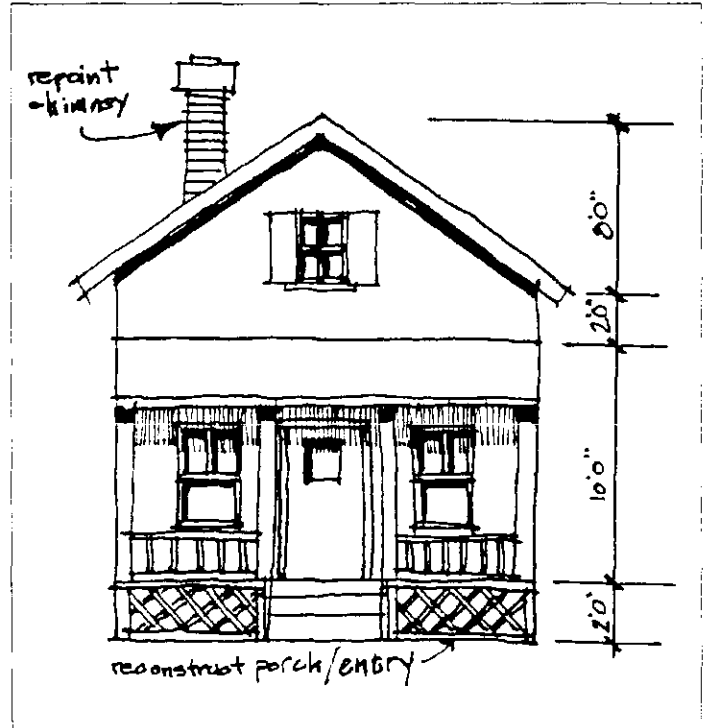
Recommended Submittal Documents

Adequate documentation is essential to provide a complete understanding of the work proposed. Applicants are encouraged, and may be required, to submit the following documentation:

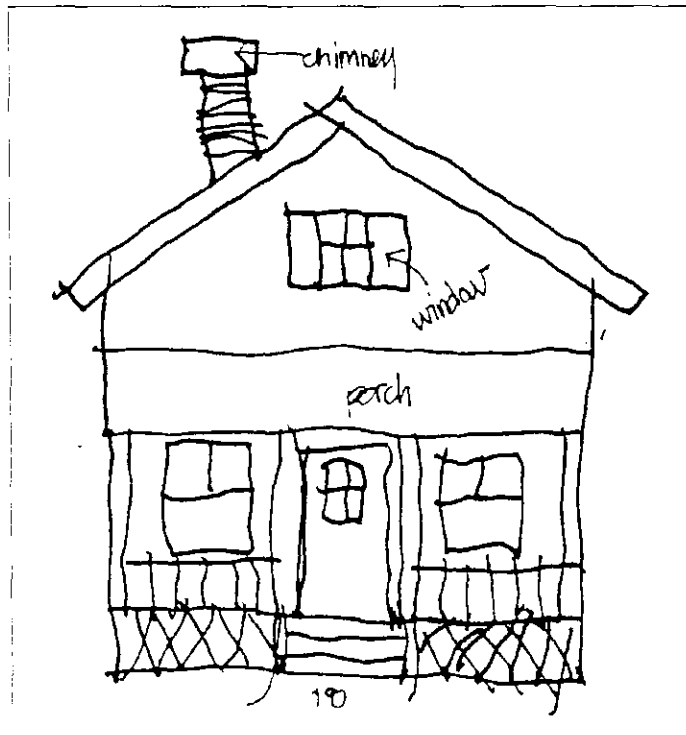
- Photographs of building conditions (existing and historic)
- Building Elevations
- Site plan/roof plan
- Product literature or specifications
- Materials samples & color samples
- Statement of how the project meets the Guidelines

If a drawing is to be included in the submittal package, it should be executed in a manner that clearly depicts the character of the proposed work. While a professionally produced drawing is encouraged, it is not required, as the sketches that follow illustrate.

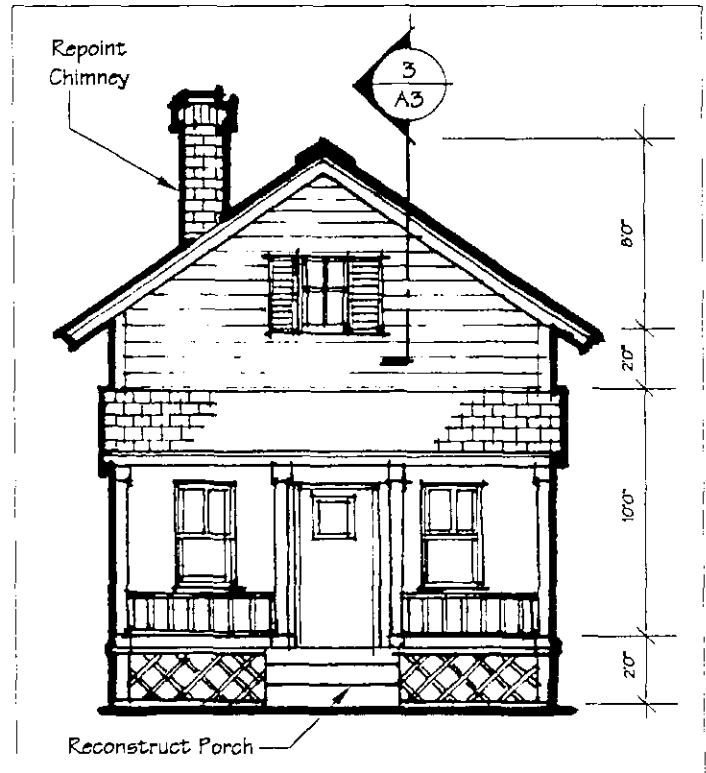
For a complete list of required submittal documents, contact the Department of City Development, City of St. Charles at 949-3222.



Appropriate drawing: While in free-hand, this drawing does adequately convey the scale and character of the proposed work.



Inadequate drawing: Scale and character are not clearly conveyed.



Appropriate drawing: Mechanically drafted to scale, this drawing best conveys the character of the proposed work.

Interpretation of Terms Related to Compliance

These definitions apply to terms related to compliance in the text that follows.

Appropriate - In some cases, a stated action or design choice is defined as being “appropriate” in the text. In such cases, by choosing the design approach referred to as “appropriate,” the reader will be in compliance with the Guideline. However, in other cases, there may be a design that is not expressly mentioned in the text that also may be deemed “appropriate” by the HLPARB.

Consider - When the term “consider” is used, a design suggestion is offered to the reader as an example of one method of how the Design Guideline at hand could be met. Applicants may elect to follow the suggestion, but may also seek alternative means of meeting it. In other cases, the reader is instructed to evaluate the ability to take the course recommended in the context of the specific project.

Context - In many cases, the reader is instructed to relate to the context of the project area. The “context” relates to those properties and structures adjacent to, and within the same block, as the proposed project.

Contributing - Architecturally, historically or geographically significant buildings or structures are generally considered to be contributing to a local district.

Guideline - In the context of this document, a “guideline” is a requirement that must be met, in order to be in accordance with the intent of these Guidelines.

Historic - In general, a historic property is one that is at least 50 years old or older, associated with significant people or events or conveys a character of building and design found during the city’s “period of significance.” In the context of this document, an “historic” property is one that is officially designated by the City under its local landmarks ordinance. Note that in some cases, a locally-designated property may also be listed on the National Register of Historic Places.

Imperative mood - Throughout this document, many of the Guidelines are written in the imperative mood. The reader is often instructed to “maintain” or “preserve” an established characteristic. For example, one guideline states: “Maintain the original proportions of a door.” In such cases, the user shall comply. The imperative mood is used, in part, because this document is intended to serve an educational role as well as a regulatory one.

Inappropriate - Inappropriate means impermissible. When the term “inappropriate” is used, the relevant design approach shall not be allowed. For example, one Guideline states: “A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.” In this case, a design out of character with the historic building would not be approved.

Noncontributing Structures - Recent buildings and those fifty years old or older which have lost their integrity are considered “noncontributing.” These building or structures do retain value as residential or commercial properties, but do not possess the significance and/or physical integrity necessary to be listed as contributing.

Preferred - In some cases, the reader is instructed that a certain design approach is “preferred.” In such a case, the reader is encouraged to choose the design option at hand. However, other approaches may be considered.

Primary Facade - The primary facade is the principal elevation of a building, usually facing the street or other public way.

Shall - Where the term “shall” is used in a Design Guideline, compliance is required. For example, one guideline states: “The front of a primary structure shall be oriented to the street.”

Should - If the term “should” appears in a Design Guideline, compliance is strongly encouraged, but is not required.

When physical conditions permit - In some Design Guidelines for historic buildings, the reader is asked to comply with the statement “when physical conditions permit.” In these cases, compliance is required, except when the applicant can demonstrate that it is not physically possible to do so. For example, one Guideline states: “Patch, piece-in, splice, consolidate, or otherwise upgrade the existing material, using recognized preservation methods when physical conditions permit rather than remove the element.” In this case, the owner shall retain the original material, unless they can demonstrate that it has deteriorated to the extent that it is not practical to do so.

How many Guidelines Apply?

The number of Guidelines that are relevant to each project varies. At the outset of a project, the reader should consult with staff of the city planning department to identify the specific Guidelines that are applicable to a project. Property owners should assume that all Guidelines apply unless otherwise determined by the Historic Landmarks Preservation and Architectural Review Board.

USE THESE SECTIONS

	I. Introduction	II. Historic Overview	III. Architectural Styles	DESIGN GUIDELINES	IV. Guidelines for Historic Properties	V. Guidelines for Additions	VI. Guidelines for New Construction	VII. Guidelines for All Projects	VIII. Guidelines for Signs
PROPOSED WORK	Renovate or alter a historic property	X	X	X	X			X	
	Renovate or alter a non-historic property	X	X	X			X	X	
	Add onto a historic property	X	X	X	X	X		X	
	Add onto a non-historic property	X	X	X		X	X	X	
	Construct a new building	X	X	X			X	X	
	Alter an existing or install a new sign	X	X	X					X
	Site improvements	X	X	X				X	

Which design guidelines apply to your project?

Use the chart above to identify the sections you should use.